



TOWN OF JUPITER

March 17, 2014

Mr. Robert Weisman
Palm Beach County Administrator
301 N. Olive Avenue, 11th Floor
West Palm Beach, FL 33401

Dear Mr. Weisman:

We are pleased to submit the *2013 Annual Report of the Jupiter Community Redevelopment Agency* for the fiscal year ended September 30, 2013.

Section 163.356(3) (C), Florida Statutes, requires each CRA to file with its governing body, on or before March 31 of each year, a report of its activities for the proceeding fiscal year, which shall include a complete financial statement setting forth its assets, liabilities, income, and operating expenses as of the end of such fiscal year. The report also provides additional information of interest to the residents and businesses.

Respectfully submitted,

Andrew D. Lukasik
Community Redevelopment Agency
Executive Director

Enclosure

cc: Town of Jupiter Finance Department
Town of Jupiter CRA
Office of Auditor General State of Florida

TOWN OF JUPITER COMMUNITY REDEVELOPMENT AGENCY ANNUAL REPORT



Under Chapter 163.356(3) (C)



FISCAL YEAR ENDING
SEPTEMBER 30, 2013

<u>TABLE OF CONTENTS</u>	<u>PAGE</u>
Letter of Transmittal	3
Community Redevelopment Agency Commissioners	5
Community Redevelopment Agency Staff & Mission	6
Introduction	7
CRA Boundary Map	8
Fiscal Year 2013 Jupiter CRA Activities	9
Tax Increment Revenue	13
Jupiter CRA Total Revenues in Redevelopment Area	13
Grant Funding	14
Financial Statements	15
Balance Sheet	15
Statement of Revenues, Expenditures, and changes in fund balances	16
2013/2014 Work Plan	17

March 2014

Message from the Executive Director:

We are pleased to submit the Annual Report of the Jupiter Community Redevelopment Agency for the fiscal year ended September 30, 2013. Section 162.356(8) (C), Florida Statutes, requires each CRA to file with its governing body, on or before March 31 of each year, a report of its activities for the preceding fiscal year, which shall include a complete financial statement setting forth its assets, liabilities, income, and operating expenses as of the end of such fiscal year. The report also provides additional information of interest to the residents and businesses.

The CRA saw a very slight decrease (.0065%) in the overall property values within the boundaries during the 2013 fiscal year. Even with the slight decrease property values are stabilizing and will begin to show a positive trend over the next few years within the boundaries.

As of the end of December, 2013, the Suni Sands parcel was acquired by Charles Modica for \$17,500,000, the former Brix Restaurant was sold for \$2,100,000 and Mangrove Bay Apartments pulled construction permits for a 114 unit complex and is anticipated to be completed in Spring, 2015. Harbourside is approximately 80% complete and will obtain a Certificate of Occupancy in the fall of 2014.

Regarding the Inlet Village, the CRA began holding quarterly open houses for residents and businesses to review and discuss upcoming projects within the CRA boundary area and specifically to keep the community up to date with the progress and schedule of the A1A improvements. In addition to the open houses, the Inlet Villager Newsletter is being published quarterly on the web and emailed, postal mailed and handed out to interested groups. These efforts have been well received by the community, even though some of the residents have not supported specific development efforts. These have been effective methods of outreach by means of significant amounts of staff time required to organize the open houses, publish the newsletter and respond to the residents.

Staff has spent a considerable amount of time on the Development Proposals for both the Love Street and the Parkway Street projects. After several public hearings and the quarterly open houses, the scales of both proposed projects are being reduced and are scheduled to go back to the Town Council in the Spring/Summer of 2014. Staff is scheduling a meeting in late March for the purpose of discussing parking solutions for the Inlet Village. The meeting will consist of the stakeholders, the businesses that need parking, existing businesses that have parking and are willing to lease and a couple of residents.

The A1A Corridor Reconstruction project is the reconstruction of A1A from Jupiter Beach Road to US 1. The project will be constructed in split phases. The underground utility construction phase is projected to start in July of 2014 followed by the streetscape phase in Spring of 2015 which will include installation of bicycle lanes, pedestrian crossing, sidewalks and traffic calming. Other improvements include on-street parking, landscape & irrigation, roadway signing and traffic markings. The roadway will be milled and resurfaced as the final work of the project either in late 2015 or early 2016.

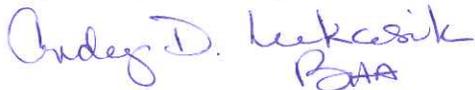
During the 2013 fiscal year, the Jupiter Cove Mini-Golf center opened and has been an immediate success with residents and visitors of all ages. The mini golf center will be a stop for many of the local camps held throughout the summer.

The CRA held four events during the past year at the Riverwalk Events Plaza including the Holiday Boat Parade, Food Truck Fest, Eco Fest and Harvest Fest. Each event was well attended and the staff received many positive comments.

The Riverwalk Events Plaza venue also hosted leased events by the Friends of Jupiter beach, the SIDS organization, Green & Artisan Market on Fridays and local resident's for family birthday parties.

As was last year, this upcoming year is anticipated to bring significant progress on a number of CRA initiatives related to the Riverwalk's connection to the Inlet Village. The Riverwalk is widely used and enjoyed by locals and visitors alike. The agency will work closely with business and property owners to ensure that the development occurs in a manner that is beneficial to the entire Jupiter community.

Respectfully submitted,



Andrew D. Lukasik
Executive Director

CRA PRINCIPAL OFFICIALS

The CRA Commission consists of five commissioners who also serve as Members of the Town of Jupiter Council. The terms of office of the commissioners are concurrent with the terms of the Mayor and the members of the Town Council. The Chair and Vice-Chair are designated by majority vote of the Town Council.

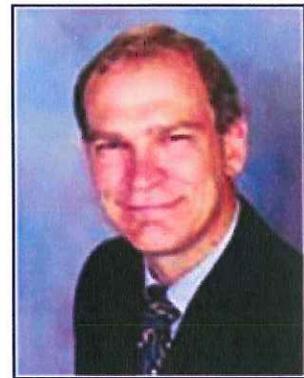
The commissioners for the 2012/2013 Fiscal Year are as follows:



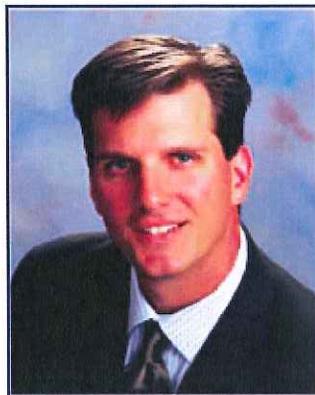
Karen Golonka
Chair



Wendy Harrison
Vice Chair



Jim Kuretski
Commissioner



Todd Woodraska
Commissioner



Ilan Kaufer
Commissioner

COMMUNITY REDEVELOPMENT AGENCY STAFF

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Mission:

The mission of the CRA is to implement the Community Redevelopment Plan as adopted by the Jupiter Town Council pursuant to Chapter 163, Part III of the Florida Statutes, and to use Tax Increment Financing (TIF) as a source of funding for capital improvement projects identified in the plan and to ensure that development within the CRA district meets the quality standards consistent with the community's vision for Jupiter.

Jupiter Community Redevelopment Agency 210 Military Trail Jupiter, FL 33458

INTRODUCTION

Requirement for an Annual Report

The Community Redevelopment Agency Commission shall file with the Town of Jupiter and Palm Beach County, on or before March 31 of each year, a report of its activities for the preceding fiscal year and this report shall include a complete financial statement setting forth the CRA's assets, liabilities, income, and operating expenses as of the end of such fiscal year. At the time of filing the report, the agency shall publish in a newspaper of general circulation in the Town, a notice to the effect that such report has been filed with the Town and that the report is available for inspection during business hours in the office of the Clerk of the Town. The notice of the filing of the annual report will be placed in the Palm Beach Post on March 20, 2014.

CRA Purpose

Florida State Statute 163 allows a Community Redevelopment Agency to be created for one or more of the following purposes: the elimination and prevention of blight; or the reduction or prevention of crime; or for the provision of affordable housing; or the rehabilitation and revitalization of coastal resort and tourist areas that are deteriorating and economically distressed.

History

The Jupiter Community Redevelopment Agency (Jupiter CRA) was created in fall 2001 by the Jupiter Town Council under Chapter 163, Part III of the Florida Statutes and will sunset in 2034. The Jupiter CRA boundary originally included an area consisting of approximately 397 acres. In 2011, the CRA boundaries were expanded via Resolution No. CRA 3-11, Town of Jupiter Resolution No. 22-11 and Palm Beach County Resolution No. R-2011-1104 to include approximately 0.62 acres from 960 North A1A and approximately 0.91 acres located at 950 North A1A. The total CRA boundaries now consist of approximately 399 acres. The newly expanded boundaries of the CRA District are included on the map herein.

The governing body of the Jupiter CRA is the Jupiter Town Council. The Council is comprised of five (5) members. Under the State Statutes and the Town ordinances, the Jupiter CRA has substantial powers and authority within the Jupiter CRA area. These include the power to make and execute contracts, to acquire and dispose property, to approve development plans, to implement a program of voluntary or compulsory rehabilitation of buildings, to mortgage its property, to borrow and invest money, and to apply for and accept grants and contributions.

The Community Redevelopment Plan was formally adopted in 2008. .

Tax Increment Financing (TIF)

The primary revenue earned by the CRA is Ad Valorem Taxes from Tax Increment Financing. Tax Increment Financing, or TIF, is the amount of tax specifically due to increased property values within the CRA District. The Town established the Redevelopment Trust Fund using 2003 as the base year for tax increment revenues. The Community Redevelopment Agency collects TIF funds only from Palm Beach County and the Town of Jupiter. The CRA land area consists of approximately 399 acres as amended to include the Inlet Village Marina Parcel in 2011; the 2003 base year value was \$160,330,204 as determined by the Palm Beach County Property Appraisers office.

The value for the FY 2014 fiscal year is \$272,324,373.

Fiscal Year 2012/2013 Jupiter CRA Activities

The Jupiter CRA is treated as a special revenue fund of the Town. An independent financial audit by an external CPA firm has been accomplished annually to be in compliance with Section 163.387(8), Florida Statutes. An annual budget is also adopted by the Jupiter CRA Commission to be in compliance with Section 189.418(3). Major activities and accomplishments of the Jupiter CRA in Fiscal Year 2012/2013 include:

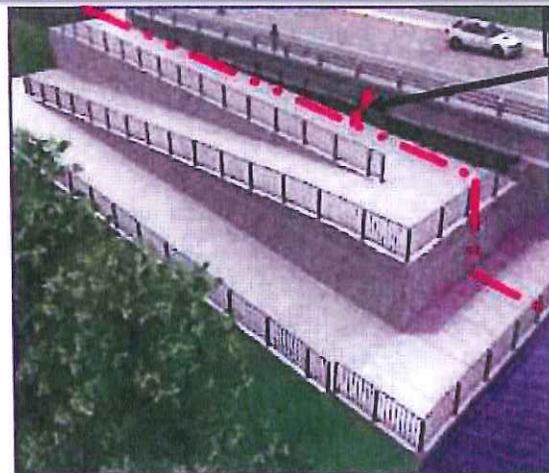
Planning and Activity Efforts:

- A1A Roadway Improvement obtaining ROW approvals from property owners
- Riverwalk Oxbow Switchback Permitting Process discussions
- Riverwalk Bridge Crossing at Burt Reynolds Park discussions
- Provided assistance to Lighthouse Cove Mini Golf project in processing business regulations and permits
- Annual 2012 CRA Report prepared and submitted to meet deadline
- Provided information and assistance to potential business operators within the CRA boundary
- Provided assistance with land sale to Guanabanas Restaurant for construction of a kitchen, public restrooms and office
- Provided assistance to Jupiter Inlet Marina regarding construction of the Riverwalk and public boat slips related to the FIND Grant requirements
- Coordinated license agreements parking at the Love. St. Parking Lot with Guanabanas, Castaways and Jupiter Outdoor Center
- Coordinated license agreements for the Charter Dive Boat Service at Jupiter Yacht Club Marina
- Coordinated license agreements for launching and landing of paddle boats/kayaks with Blueline Paddleboat and Jupiter Outdoor Center
- Initiated, published and distributed the Inlet Village Quarterly Newsletter
- Initiated and conducted Inlet Village quarterly meetings for residents and interested parties
- Assisted in Site Plan Applications for the Parkway Street Parking Garage and then with the on-going efforts for the revised surface lot site plans.
- Held 4 CRA sponsored events at the *Riverwalk Events Plaza*
- Leased the *Riverwalk Events Plaza* for 4 private events and celebrations

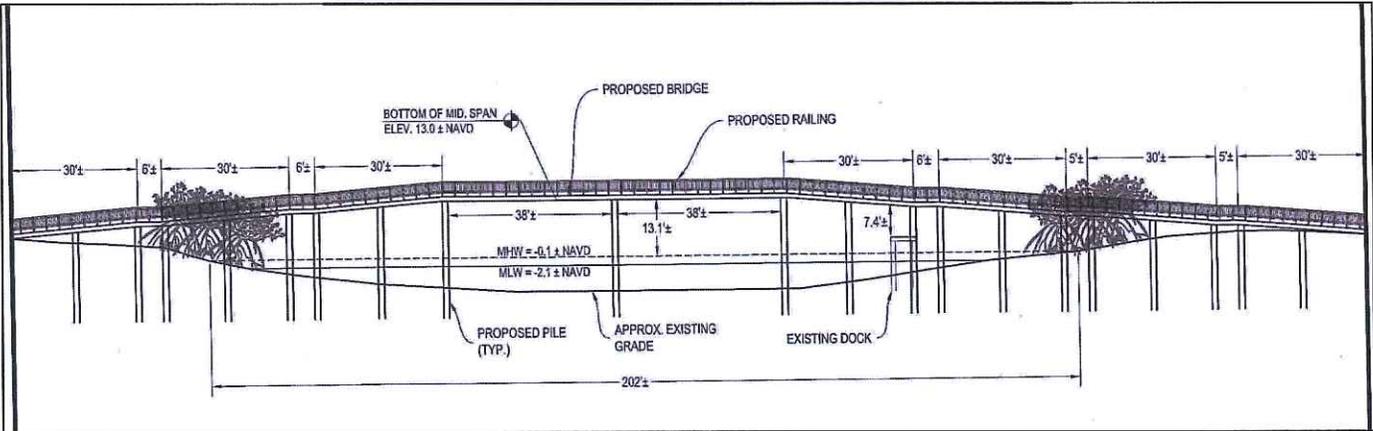
Ocean Blvd. /A1A Roadway
Improvements



Riverwalk Oxbow Switchback



Riverwalk Bridge Crossing at Burt Reynolds Park



Riverwalk at Jupiter Inlet Marina



Lighthouse Cove Mini Golf Grand Opening



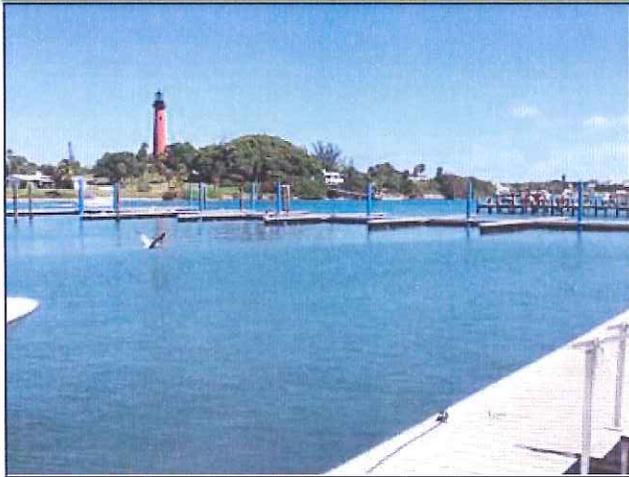
Guanabanas expansion with property land sale



Capital Projects Work Efforts:

- **Riverwalk at Water Pointe:** Final southern section completed and open to the public
- **Riverwalk at Jupiter Inlet Marina and Public Docks (Sea Sport Marina):** Construction soon to be completed with opening date scheduled for April, 2014.
- **Ocean Blvd./A1A Roadway Improvements:** Utility undergrounding construction to begin 2014

Jupiter Inlet Marina new docks (Sea Sport)



Riverwalk at Water Pointe Completed



Business Assistance via Staff Support

- Paddle Board/Kayak businesses usage of public docks at the CRA owned Inlet Village Marina/Park
- Licensing Agreements for Guanabanas', Castaway's and Jupiter Outdoor Center's peak hour use of the CRA Municipal Parking Lot at Love St.
- Blueline Surf & Paddle Co. holds racing events on Inlet Village Park docks, bringing customers to local restaurants and businesses.
- Licensing Agreement to allow Charter Dive Boat service at Jupiter Yacht Club public docks.
- Assist new development projects through Town permitting process, (Lighthouse Cove Mini-golf, Guanabanas, etc.)

Paddle Board/Kayak Businesses



Charter Dive Boat Service



Lighthouse Cove Mini Golf



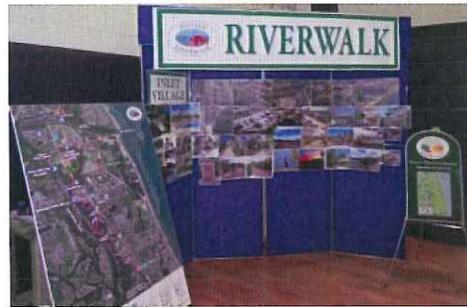
Riverwalk and Inlet Village Promotional Activities

Presentations to:

- Beach Road Association
- Mangrove Bay Residents
- Jupiter Harbor Residents
- Jupiter Inlet Residents

Information Booths on the Riverwalk and Inlet Village activities at public events with over 3,000 attendees:

- Friends of Jupiter Beach annual event on *Riverwalk Events Plaza*
- Jupiter Jubilee Event
- Eco-Fest Event on *Riverwalk Events Plaza*
- Harvest Fest Event on *Riverwalk Events Plaza*



Events

- Holiday Boat Parade Celebration on the *Riverwalk Events Plaza* attracted over 4,000 residents and visitors increasing revenue for vendors, shops and restaurants in the area
- SIDS (Sudden Infant Death Syndrome Alliance) Walkathon annual fundraising event travels on the Riverwalk from the Events Plaza south to the Best Western Hotel increasing awareness and raising funds for research



Tax Increment Revenue:

The primary revenue earned by the CRA is Ad Valorem Taxes generated from the Tax Increment valuation increase over the base year of the CRA. This is the amount of tax attributed to increased property values within the CRA District. The year established as the base year for the CRA is 2004 for tax increment revenue purposes. The tax increment revenue is determined annually as 95 percent of the difference between: (a) the current valuation of all levied properties each year within the Jupiter CRA boundary compared to, (b) the base year valuation of the same properties. That increase in valuation is multiplied by the base millage rates of the Town of Jupiter and Palm Beach County to determine the Tax Increment revenue paid to the Jupiter CRA each year.

These revenues are only collected from Palm Beach County and the Town of Jupiter.

The following entities are not included in the taxes levied:

- Jupiter Debt (Community Center and Open Space)
- Jupiter Fire/Rescue
- Jupiter Inlet District
- South Florida Water Management District
- Florida Inland Navigation District
- Everglades Construction
- Palm Beach County Debt
- Children’s Services Council
- Library Debt & Library Operating
- School District and associated General Obligation Debt funded by ad valorem taxes

Jupiter CRA Total Property Tax Revenue in Redevelopment Area

<u>Fiscal Year</u>	<u>Palm Beach County</u>	<u>Town of Jupiter</u>	<u>Total Property Tax Revenue</u>
2005	\$ 168,479	\$ 98,073	\$ 266,552
2006	\$ 299,630	\$ 177,605	\$ 477,235
2007	\$ 752,596	\$ 425,903	\$ 1,178,499
2008	\$ 747,616	\$ 439,324	\$ 1,186,940
2009	\$ 696,149	\$ 451,037	\$ 1,147,186
2010	\$ 607,448	\$ 361,891	\$ 969,339
2011	\$ 483,799	\$ 254,992	\$ 738,791
2012	\$ 411,075	\$ 216,662	\$ 627,737
2013	\$ 410,805	\$ 216,519	\$ 627,324

Grant Funding for Riverwalk and Public Docks to date	
Jupiter Inlet Marina	780,940
A1A	700,875
Harbourside	700,000
Harbourside	827,505
A1A	735,000
Inlet Village Marina	199,675
River Plaza	750,000
Water Taxi	100,000
Lagoon Bridge	1,491,964
A1A	456,000
Ocean Way	486,800
Coastal Way	500,000
Coastal Way	246,250
Coastal Way	150,000
Total Grant Funding	8,125,009

Additional Miscellaneous CRA Revenues

Leasing Riverwalk Events Plaza	1,075
Fees for Love Street Parking Lot	37,400
Annual Doc Fee Jupiter Yacht Club Marina	1,000
Interest	116,732
Partial Sale of Inlet Marina Site	261,459
Total Additional CRA Revenues	\$417,666

Financial Statements

The Jupiter CRA is considered a blended component unit of the Town and therefore it is included in the Town's annual financial audit. In order to meet the requirement of Section 163.387(8), Florida Statutes, which requires the CRA to provide for annual audit of the redevelopment trust fund, the Jupiter CRA has been treated as a major fund of the Town. The financial statements included herein are unaudited statements of the Jupiter CRA. Audited statements are included in the Town's Comprehensive Annual Financial Report (CAFR) for the fiscal year ending September 30, 2013 and may be obtained in the Town Clerk's office, 210 Military Trail, Jupiter, Florida or online at www.jupiter.fl.us.

Town of Jupiter Community Redevelopment Agency
Fiscal Year 2012/2013
Financial Statements

Balance Sheet..... September 30, 2013

	2013	2012
Assets:		
Cash and Investments	2,483,960	1,027,919
Accounts receivables-grants	600	378,031
Note Receivable	913,211	1,975,214
Prepaid Items	-	25,000
	<u> </u>	<u> </u>
Total Assets	<u>\$3,397,771</u>	<u>\$3,406,164</u>
Liabilities:		
Accounts Payable	92,805	111,004
Due to Other Funds	6,837,333	7,210,178
Deposits	60,238	60,238
Deferred Revenue	-	117,284
	<u> </u>	<u> </u>
Total Liabilities	<u>\$6,990,376</u>	<u>\$7,498,704</u>
Deferred Inflow of Resources		
Unavailable revenues	237,997	-
	<u> </u>	<u> </u>
Fund Balances:		
Non-spendable:	816,501	1,882,930
Prepaid items:	-	-
Unassigned:	(4,647,103)	(5,975,469)
Total Fund Balance	<u>(3,830,602)</u>	<u>(4,092,539)</u>
	<u> </u>	<u> </u>
Total Liabilities and Fund Balance	<u>\$3,397,771</u>	<u>\$3,406,165</u>

Town of Jupiter Community Redevelopment Agency
Statement of Revenues, Expenditures and Changes in Fund Balance
Year ended September 30, 2013

	2013	2012
Revenues:		
Taxes	627,324	627,737
Grant Revenue	-	2,019,076
Interest & Misc.	<u>417,666</u>	<u>106,180</u>
Total Revenues	1,044,990	2,752,993
Expenditures:		
Current:		
General Government	339,193	1,681,301
Capital Outlay:		
Physical and Economic Environment	477,186	766,965
Debt Service:		
Interest and Fiscal Charges	<u>340,284</u>	<u>-</u>
Total Expenditures	<u>1,156,663</u>	<u>2,448,266</u>
Revenue Over Expenditures	<u>(111,673)</u>	<u>- 304,727</u>
Other Financing Uses:		
Transfers Out	(50,000)	-
Excess (deficiency) of revenues		
over expenditures and other financing uses	423,610	(140,000)
Fund Balance - Beginning of Year	<u>(4,092,539)</u>	<u>(4,257,266)</u>
Fund Balance - End of Year	<u>(3,830,602)</u>	<u>(\$4,092,539)</u>

(1) The 2012 principal and interest payment on the loan to the Town of Jupiter General fund was deferred until the first quarter of 2013 due to cash flow shortage in the CRA. All principal and interest payment are now current with the General Fund.

Work Plan for 2013/2014

- Ongoing development of cataloging and GIS mapping of the Riverwalk Corridor. This interactive internet map will provide the user with information on specific Riverwalk sections by clicking on any section of the map. Some of that section information may include:
 - ownership (fee simple/perpetual easements)
 - legal description and sketch
 - maintenance responsibility
 - permits and conditions
 - environmental mitigation and reports
 - lease agreements
 - utilities
- Develop an Inlet Village Parking Management Plan
- Riverwalk/US 1 Oxbow Switchback Design/SFWMD Permitting
- Riverwalk/Burt Reynolds Park Bridge
- Riverwalk connectivity to Ocean Blvd./A1A
- Ocean Blvd./A1A Road Improvements Project from Jupiter Beach Road to US1 Planning/Design & Engineering
- Continue working with businesses and property owners regarding the A1A Roadway construction project
- Expand the East Coast Greenway program
- Continue working with Palm Beach County Metropolitan Planning Organization to energize the water taxi businesses along the Intracoastal Waterway
- Grant support (writing, monitoring, quarterly reports and close out reports)
- Suni-Sands Boathouse (Florida Department of Environmental Protection permit and preservation effort)

On the Horizon

- Revitalization of Brix Restaurant at Jupiter Harbor
- Modica Master Development Plan for Love Street property
- Riverwalk Pointe Residential Units at Mangrove Bay
- Parkway Street Surface Parking Lot
- Suni-Sands Development Proposal

