

# MOBILE HOME

(Manufactured Home/Park Trailer Set Up)

## Please submit/upload plans in PDF format

Please indicate items submitted with a checkmark (√)

Please upload [this Checklist and any Required Forms](#) in **.pdf format** to the appropriate category [<Survey>](#) [<Building Plans>](#) [<Supporting Docs>](#) [<NOA>](#) following the TOJ Naming Convention found in Help Documents

Create online as: **Building Alteration**

### 1. Site Information [<Survey>](#)

- a. Site plan of Mobile Home Lot with Location of Mobile Home and Setbacks \_\_\_\_\_
- b. Lot drainage plan/survey required with direction of flow arrows showing the proposed drainage \_\_\_\_\_
- c. Floodplain Development Permit, required if structure is in a flood hazard zone \_\_\_\_\_
- d. Elevation Certificate, Signed & Sealed \_\_\_\_\_
- e. Soil analysis, signed/sealed, if applicable \_\_\_\_\_
- f. Completed Drainage Certification Form, if applicable \_\_\_\_\_

### 2. Plans [<Building Plans>](#)

- a. Engineer signed/sealed foundation and anchoring plan \_\_\_\_\_
- b. Details and Specifications of Stairs, Ramps, Slabs, Foundations, etc. \_\_\_\_\_
- c. Installation per manufacturer's instructions, which shall be made available to the inspector, OR per **Department of Highway Safety, Division of Motor Vehicles** "Anchor and Tie-Down Installation Standards", a copy of which shall be attached. \_\_\_\_\_

### 3. Supporting Documents [<Supporting Docs>](#)

- a. Letter of Approval from mobile park owner \_\_\_\_\_
- b. Residential Impact Fees Paid \_\_\_\_\_
- c. Permit fee paid as determined by value of installation \_\_\_\_\_
- d. Do **NOT** include value of sub permits in value of set up (Electric, Plumbing, Mechanical) \_\_\_\_\_

## **IMPORTANT NOTICE**

**IF RESIDENT LIVES IN DEED RESTRICTED COMMUNITY  
PLEASE CONTACT HOA TO DETERMINE IF ASSOCIATION APPROVAL IS REQUIRED  
TOJ BUILDING DEPARTMENT CANNOT ENFORCE ASSOCIATION REGULATIONS**

**Valuation of each permit determined by the total value of work  
Including material, equipment and labor even when supplied by others**

## **NOTE:**

**Palm Beach County and Jupiter impact fees may be required**



**Town of Jupiter  
 Building Department  
 210 Military Trail  
 Jupiter, Florida 33458  
 Phone (561) 741-2286  
 Fax (561) 741-0911**

**FLOODPLAIN DEVELOPMENT PERMIT**

Date Submitted \_\_\_\_\_ Date Approved \_\_\_\_\_ Bldg. Permit \_\_\_\_\_

Address \_\_\_\_\_

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Legal for Metes & Bounds **30-** \_\_\_\_\_

Type of Development \_\_\_\_\_ Size of Development \_\_\_\_\_ Excavation \_\_\_\_\_

Fill \_\_\_\_\_ Grade \_\_\_\_\_ Building or Other Structures \_\_\_\_\_

Other Alterations (specify) \_\_\_\_\_

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- Location in Flood Plain:
- a. \_\_\_\_\_ Inside regulatory floodway
  - b. \_\_\_\_\_ Outside floodway limits
  - c. \_\_\_\_\_ Inside flood plain  
 (no regulatory floodway established)

Development Standards Data (Reference Ordinance 75-90)

1. If (a) or (c) is checked, attach engineering certification and supporting data as required.
2. Required floor elevation is \_\_\_\_\_ MSL (NAVD) Zone \_\_\_\_\_
3. Proposed finished floor elevation \_\_\_\_\_ MSL (NAVD)  
 Attach survey as required.
4. Floodproofing information (if applicable):
  - a. Required floodproofed elevation is \_\_\_\_\_ MSL Zone \_\_\_\_\_
  - b. Actual (as built) floodproofed elevation is \_\_\_\_\_ MSL (NAVD)  
 Attach engineering certification and supporting data as required.
5. Complete for alterations, additions or improvements to existing structures
  1. What is the estimated market value of the existing structure? \$ \_\_\_\_\_
  2. What is the value of all improvements from 1977 including this submittal? \$ \_\_\_\_\_
  3. If the cost of the proposed construction equals or exceeds 50 percent of the market value of the structure, then the substantial improvement provisions shall apply.

Comments \_\_\_\_\_

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**Applicant Acknowledgment**

I understand that the issuance of this permit is contingent upon the above information being correct and that the plans and supporting data have been or shall be provided as required. I agree to comply with all applicable provisions of Ordinance 15-77 and all other laws or ordinances affecting the proposed development.

Applicant \_\_\_\_\_ Authorized Signature \_\_\_\_\_  
 (PRINT NAME)

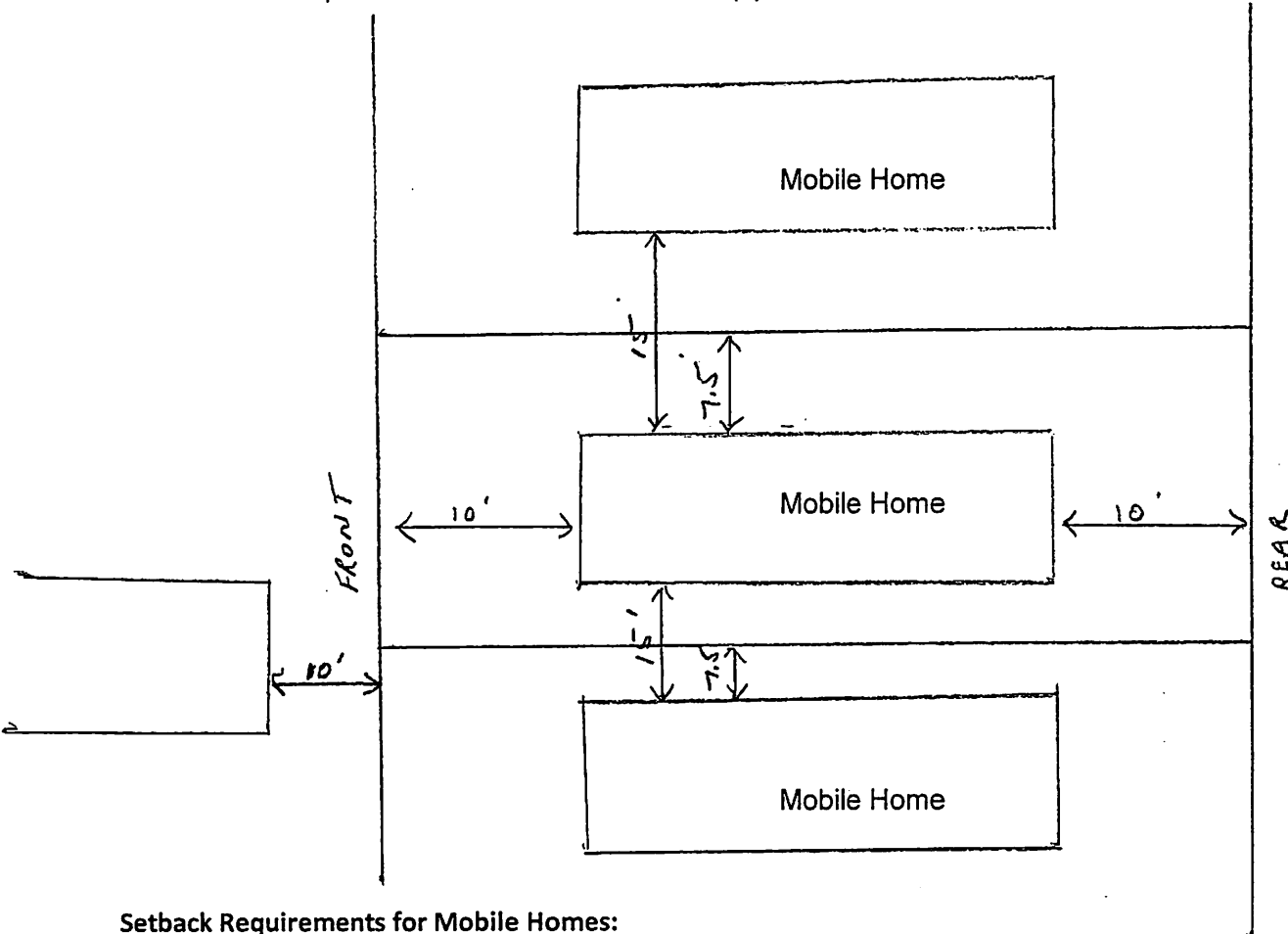
Building Official \_\_\_\_\_

Contractor \_\_\_\_\_ Tel \_\_\_\_\_ Permit No \_\_\_\_\_

Project Address \_\_\_\_\_

**Complete sketch with the following information:**

1. Dimensions and location of existing structures.
2. Fill in all setback dimensions. Be sure that any structural additions to the mobile home are shown awnings, screens and carports, etc. with existing setbacks.
3. Indicate location of front of lot and streets.
4. Indicate driveway and parking areas.
5. Shed required setback Section 27-1667 (a)



**Setback Requirements for Mobile Homes:**

Front - 10' ft. to property line of lot.

Rear - 10' ft. end to end.

Interior sides - 7.5 ft. to property line, 15' ft. between mobiles.

Corner sides - 15'

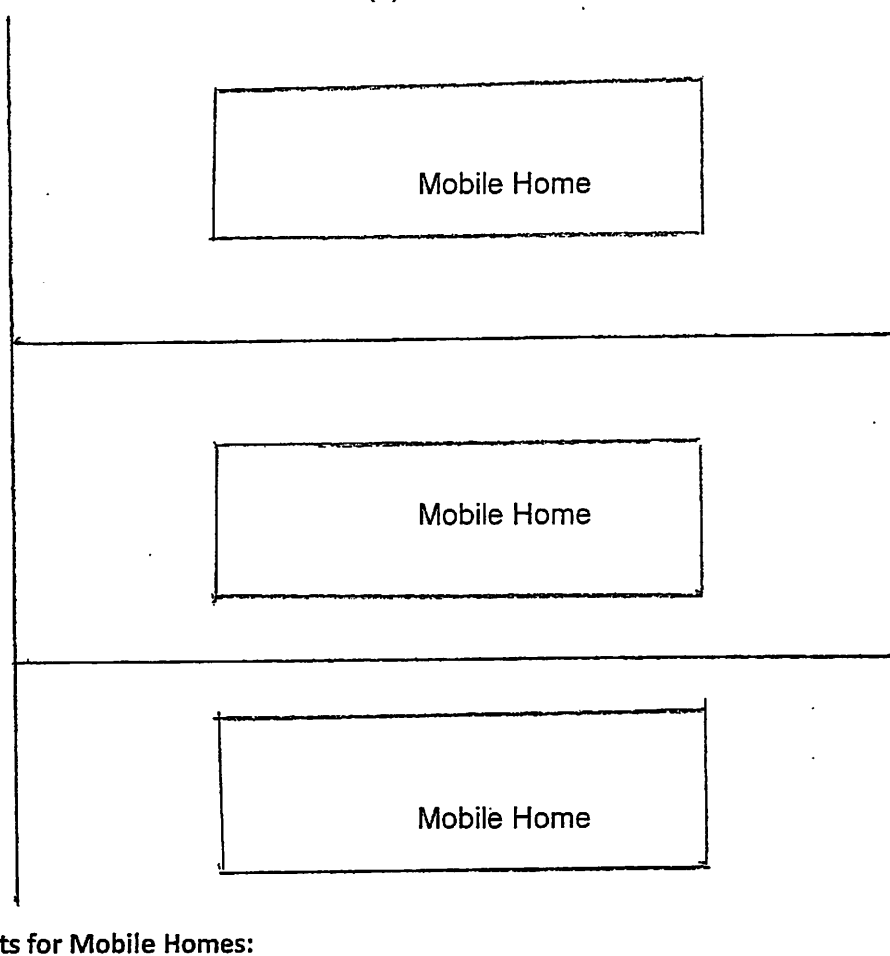
Setbacks from permanent building or perimeter property line is 20' ft.

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