

# SHEDS/STORAGE BUILDING/DETACHED GARAGE

## Please submit/upload plans in PDF format

Please indicate items submitted with a checkmark (√)

Please upload [this Checklist and any Required Forms](#) in .pdf format to the appropriate category [<Survey>](#) [<Building Plans>](#) [<Supporting Docs>](#) [<NOA>](#) following the TOJ Naming Convention found in Help Documents

Create online as: Permit Type: **Building(R) or (C)**  
Work Class: **Shed**

**30% of permit fees due with this application. Balance of fees (building, impact, etc.) due at time of permit issuance. All subcontractor permits shall be issued prior to commencing work.**

### 1. Site Information [<Survey>](#)

#### a. Survey, signed/sealed showing:

- Location of proposed structure \_\_\_\_\_
- Setbacks and Building Dimensions \_\_\_\_\_
- Existing Structures, Easements and Lot Size \_\_\_\_\_
- Power Lines and Service Drop and Septic Location \_\_\_\_\_
- Provide Floor Elevation of Proposed Structure \_\_\_\_\_
- If in a Flood Hazard Zone Provide Floodplain Development Permit \_\_\_\_\_

### 2. Plans [<Building Plans>](#)

#### a. Shed/Storage Building:

##### I. **MUST** include, but not limited to:

- Sheds maximum 8' height & 144 Square Feet \_\_\_\_\_
- Storage building may **NOT** exceed 25% of the area of the primary structure and maximum 10 ft roof height \_\_\_\_\_
- Minimum size greater than 144 Square Feet \_\_\_\_\_
- **MUST** be similar in design to primary structure and may **NOT** be metal or plastic \_\_\_\_\_
- No door may exceeds 6 ft in width \_\_\_\_\_  
(See Town Ordinance Sec 27-1910)

##### II. Pre-Manufactured Shed:

- Provide DBPR approved drawings \_\_\_\_\_

##### III. Site Built:

- Drawings Signed & Sealed by Architect/Engineer, included but not limited to:

- Floor Plan with dimensions and Window/Door Location & Sizes \_\_\_\_\_
- Foundation Plan \_\_\_\_\_
- Typical Wall Section \_\_\_\_\_
- Wind Load Compliance Certification Signed by Designer \_\_\_\_\_

##### IV. Palm Beach County prescriptive shed design drawings (BCAB 09-10 Revised 09-2021) \_\_\_\_\_

# SHEDS/STORAGE BUILDING/DETACHED GARAGE

b. Detached Garage:

- I. **MUST** be a single-story structure similar in design to primary structure and shall **NOT** exceed the height of the existing building on the lot \_\_\_\_\_
- II. May **NOT** be metal or plastic \_\_\_\_\_
- III. The maximum size shall not exceed 35 percent of the gross floor area of the principal building, See Town Ordinance Sec 27-1910 \_\_\_\_\_
- IV. Signed & Sealed plans by Architect/Engineer included but not limited to:
  - o Floor Plan with dimensions and Window/Door Location & Sizes \_\_\_\_\_
  - o Foundation Plan \_\_\_\_\_
  - o Typical Wall Section \_\_\_\_\_
  - o Wind Load Compliance Certification Signed by Designer \_\_\_\_\_

3. **Supporting Documents <Supporting Docs>**

- a. Owner/Builder Affidavit, if applicable \_\_\_\_\_
- b. Signed/sealed Soil Analysis Report \_\_\_\_\_
- c. Completed Drainage Certification form \_\_\_\_\_

4. **Product Approval <NOA>**

- a. Provide Product Approvals, as required
  - I. State of Florida Product Approval with installation instructions engineered plans (Be sure to mark the **EXACT** product number) \_\_\_\_\_
  - II. Miami-Dade Notice of Acceptance (NOA) with installation instructions \_\_\_\_\_
- b. Information **REQUIRED** from product approval:
  - I. **ALL** project specific details shall be Identified/Marked/Circled on product Approval Installation Instructions \_\_\_\_\_

**Required items:**

- **Permits for Electric, Mechanical, Plumbing, Driveway (Separate Engineering permit), Roofing, Fence required before commencing that work.**
- **Form board tie-in survey with finish floor elevation shall be submitted prior to placing concrete**
- **Garage door certification for windload and anchoring specs required for inspection**
- **Provide inspector with final 'as-built' drainage plan at final inspection**
- **Work exempt from permit: One story detached accessory structures used as tool and storage sheds, playhouse and similar uses, provided the floor area does not exceed 120 square feet (11m2) but may be subject to Zoning Approval.**

**For Certificate of Occupancy at time of completion you must have:**

- **Finished Floor Elevation on a signed/sealed final tie-in survey**
- **FEMA Elevation Certificate signed/sealed by surveyor**
- **Structure completed according to approved plans, Florida Building Codes and Jupiter codes and ordinances**
- **Termite protection compliance certificate**



**TOWN OF JUPITER BUILDING DEPARTMENT**  
210 Military Trail, Jupiter, Florida 33458  
(561) 741-2286 Fax 741-0911

The provisions of Florida Statutes Chapter 489 require construction to be performed by a licensed contractor. You have applied for a permit under an exemption to the law under Chapter 489.103 (7). The exemption allows you, as the owner of your property to act as your own contractor even though you do not have a license. Provided you comply with the following stipulations outlined below. **YOU MUST PERFORM OR SUPERVISE THE CONSTRUCTION YOURSELF.** County Ordinances require that all permit recipients possess technical knowledge to personally supervise all permitted work.

Please carefully read the Disclosure statement below, prior to signing. If these rules are violated the Town of Jupiter Building Department shall withhold final approval, revoke the permit or pursue any action or remedy for unlicensed activity against the owner and any person performing work that requires licensure under the permit issued.

**DISCLOSURE STATEMENT**

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons that the persons whom I employ have the licenses required by law and by county or municipal ordinance.
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850.487.1395 or <http://www.myfloridalicense.com/dbpr/construction-industry/> for more information about licensed contractors.
11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address: \_\_\_\_\_.
12. I agree to notify The Town of Jupiter Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: \_\_\_\_\_ .

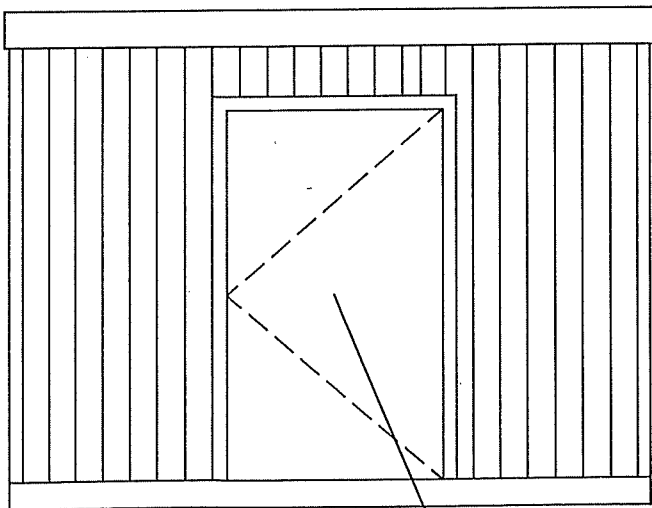
Date: \_\_\_\_\_ .

Appeared in Person

Verified by: \_\_\_\_\_

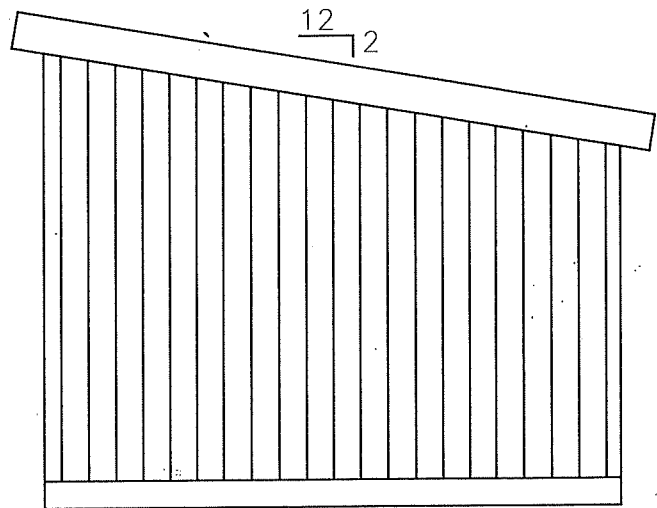
WIND INFORMATION – 2020 F.R.C. (ASCE 7-16)

BASIC WIND SPEED:	160 M.P.H. 3 SECOND GUST
BASIC VELOCITY PRESSURE:	47.3 LFRD EXP. C.
OCCUPANCY USE/TYPE:	STORAGE (RISK CATEGORY I)
TOTAL ROOF LIVE LOAD:	30 P.S.F. BEARING 10 P.S.F. BOTTOM CHORD
TOTAL ROOF DEAD LOAD:	17 P.S.F. BEARING
MEAN ROOF HEIGHT:	LESS THAN 20 FT.
SOIL BEARING CAPACITY:	2500 P.S.F.
APPROVED PRESCRIPTIVE DESIGN FOR PERMITTING IN PALM BEACH COUNTY PER THESE DETAILS ONLY (BCAB ACTION SEPT. 18, 2010)	



FRONT ELEVATION  
+29.6 PSF  
-32.2 PSF

N.T.S.



RIGHT SIDE ELEVATION

N.T.S.

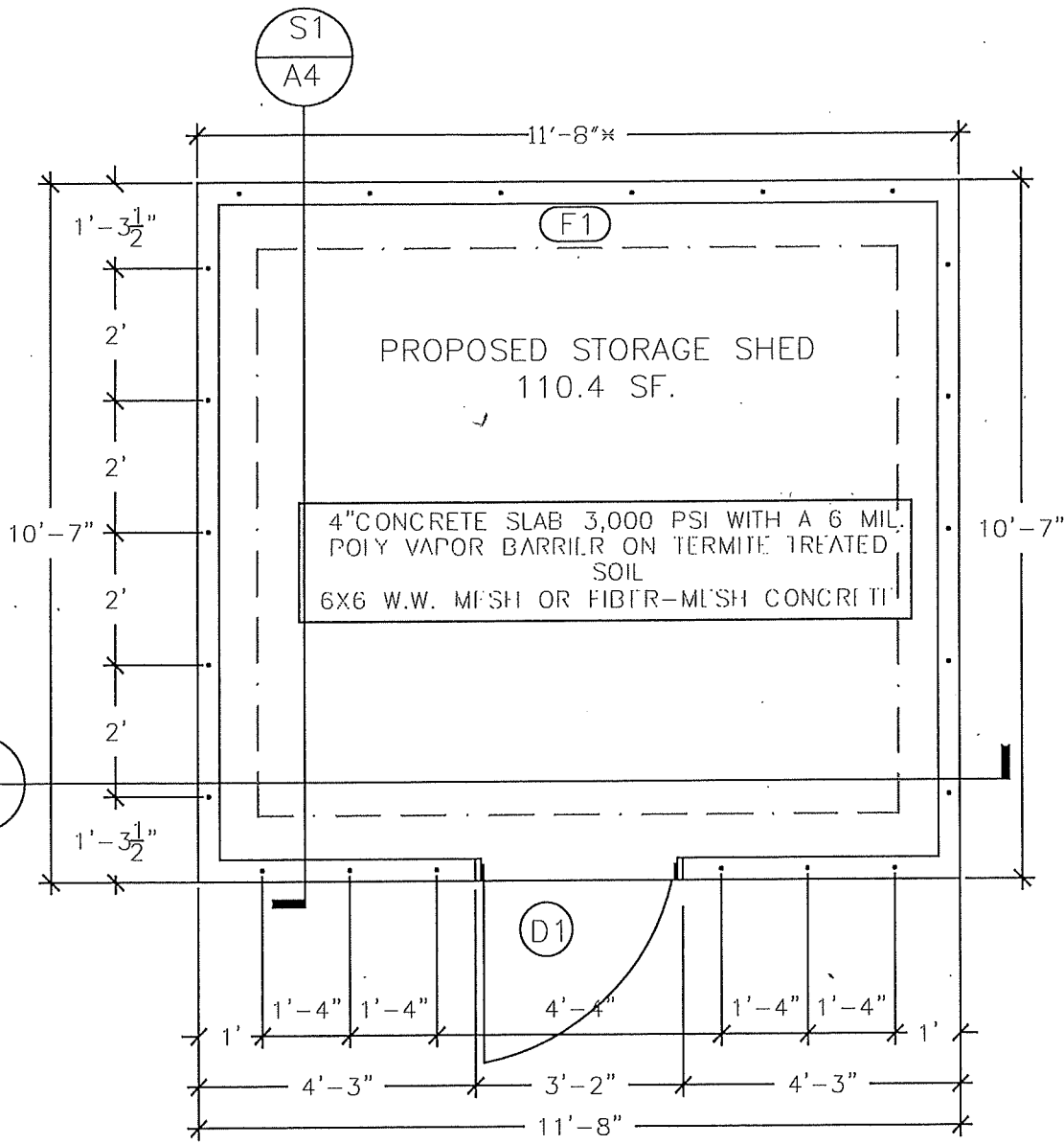
**Palm Beach County**  
**Building Code Advisory Board**  
**09-10**  
**REVISED 09-2021**

**RES. YARD STORAGE BUILDING**

11' - 8" \* WIDE X 10' - 7" DEEP

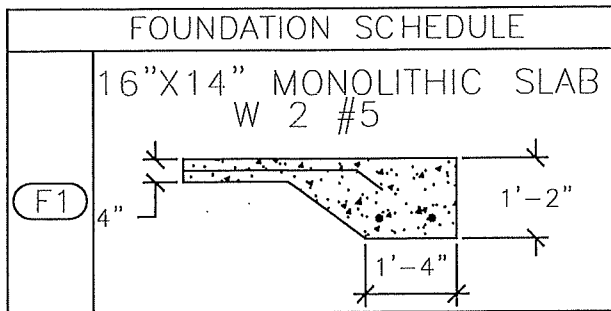
SCALE 3/8"=1'-0"

A-1



FLOOR PLAN

3/8" = 1"



DOOR				
ID	WIDTH	HEIGHT	TYPE	CONS
(D1)	3'-0"	6'-8"	SINGLE	ALUM

\* NOTE: 2'-0" INCREMENTS MAY BE ADDED UP TO 19'-8" MAX

**Palm Beach County**  
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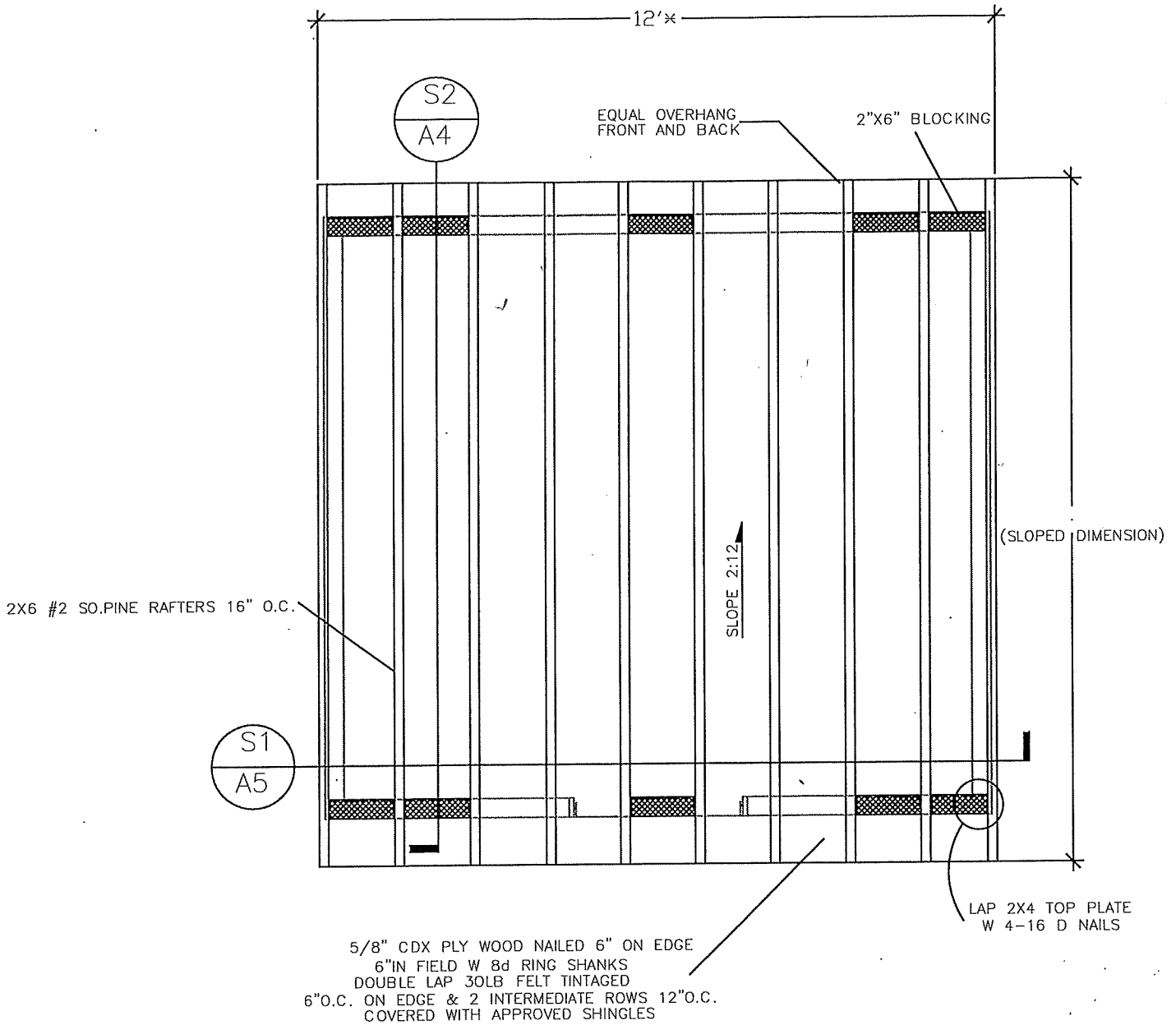
**RES. YARD STORAGE BUILDING**

11' - 8" WIDE X 10' - 7" DEEP

FOUNDATION PLAN

SCALE 3/8" = 1'-0"

A-2



ROOF PLAN

3/8" = 1"

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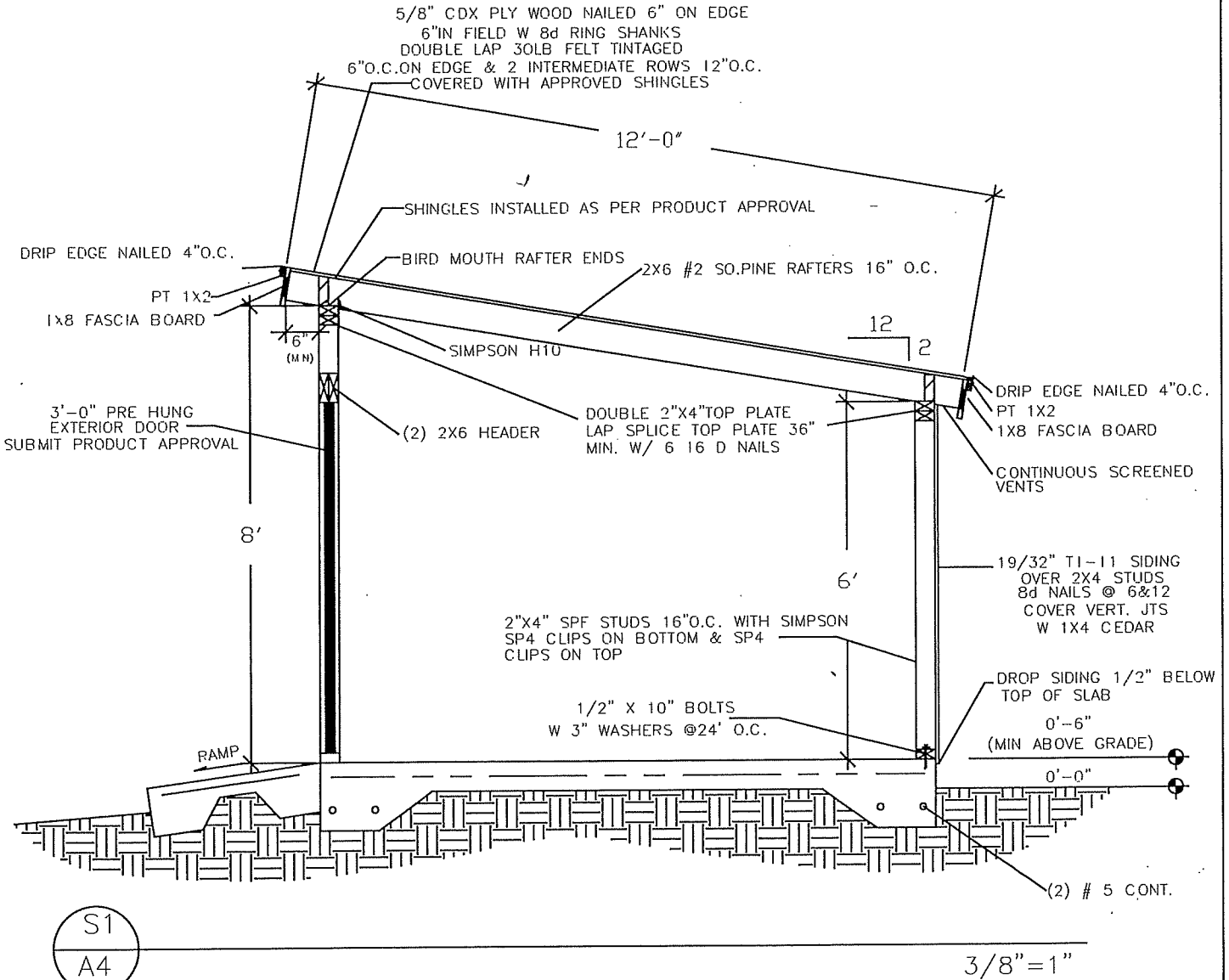
**RES. YARD STORAGE BUILDING**

11' - 8" WIDE X 10' - 7" DEEP

ROOF FRAMING PLAN

SCALE 3/8" = 1'-0"

A-3



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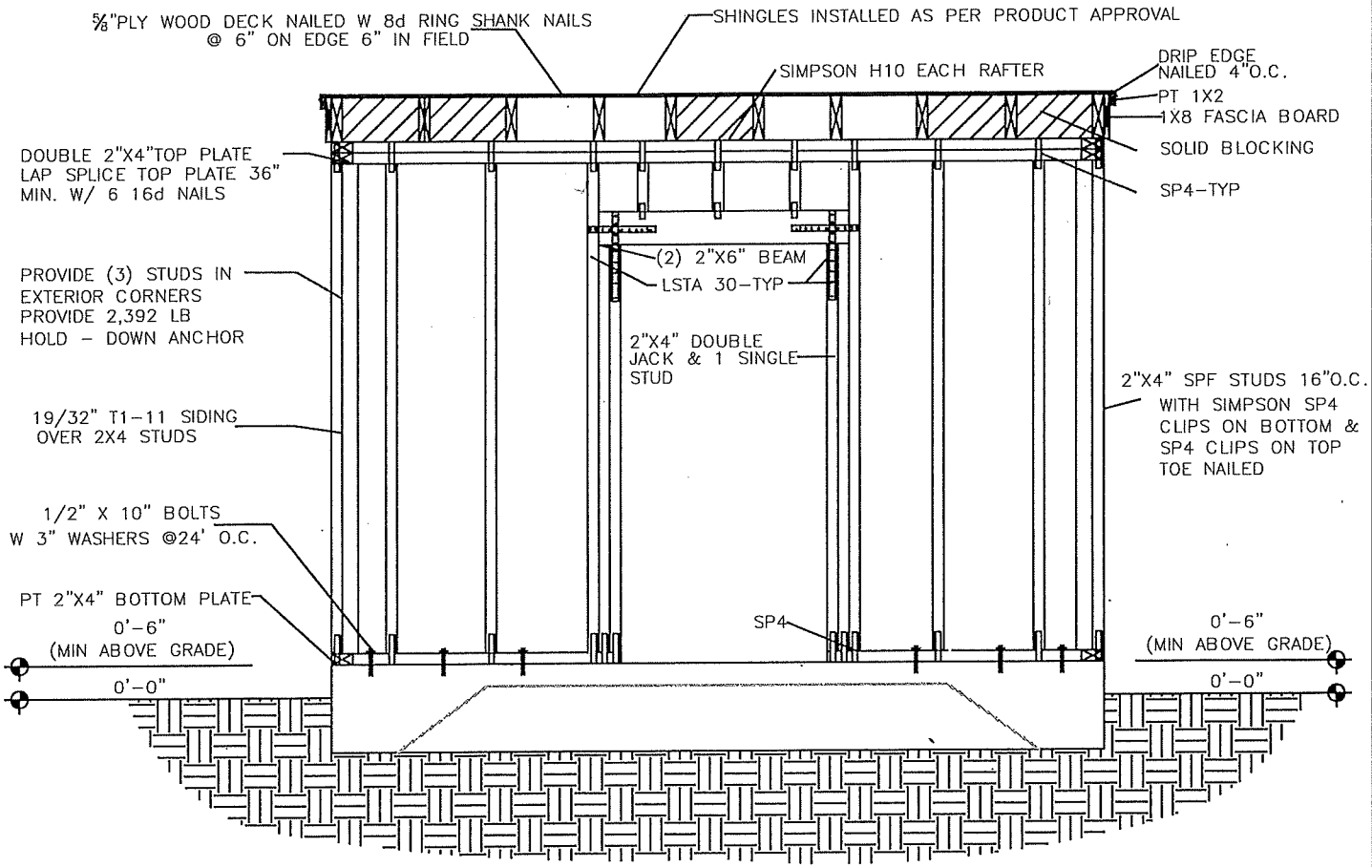
**RES. YARD STORAGE BUILDING**

11' - 8" WIDE X 10' - 7" DEEP

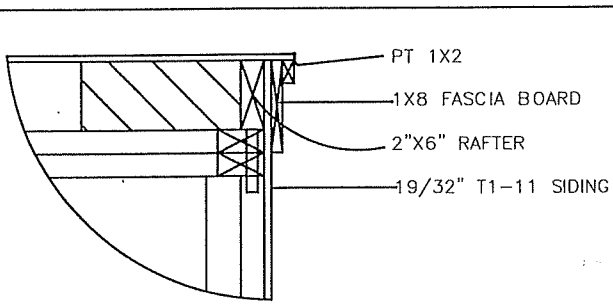
SECTION

SCALE 3/8" = 1'-0"

A-4



S2  
A5



RAKE DETAIL

NTS

**Palm Beach County**  
**Building Code Advisory Board**  
**09-10**  
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**RES. YARD STORAGE BUILDING**  
 11' - 8" WIDE X 10' - 7" DEEP

SECTION

SCALE 3/8" = 1'-0"

A-5



## MAJOR MATERIAL LIST

### FORMS

4- 2X12X12  
 5- 2X4X12  
 26-2X4 STAKES  
 120 SF 6 MIL VISQUEEN

### RE-BAR

4#5 @ 10'-4"  
 4#5 @ 11'-6"  
 8#5 @ 5'-0" 90° CORNER BARS  
 20- 16" W.P.B. FOOTING CHAIRS

### WALL FRAMING

48- 2X4X8  
 8- 2X4X12  
 4- 2X4X12 PT  
 1- 2X6X8  
 12- 5/8"X4X8 3/4" T-111  
 11- 1X4X10 RS CEDAR

28-1/2" X 6" WEDGE ANCHORS  
 1- ROLL 30# FELT  
 1- 3-0 X6'8" RH OUT SWING  
 (EXTERIOR DOOR)  
 6- SIMPSON LSTA 30  
 90- SIMPSON SP4 CLIPS

### ROOF

14- 2X6X12 SYP#2  
 4- 1X8X14 RS CEDAR  
 5- 1X2X10 PT  
 5- 5/8X4X8 CDX PLYWOOD

20- SIMPSON H-10  
 1- ROLL 30# FELT  
 60'- 2X2 DRIP EDGE  
 2-SQUARES ASPHALT SHINGLES  
 (ASTM D7158-H OR ASTM D3161-F)

- \* NOTES: (1) INCREASED QUANTITY REQUIRED FOR BUILDINGS OVER 11'-8" WIDE.  
 (2) APPROVED FASTENERS, SEALANTS, DOOR HARDWARE AND OTHER MISCELLANEOUS MATERIALS REQUIRED.  
 (3) STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND HAVE LESS THAN 720 SQ. FT. SHALL NOT BE REQUIRED TO COMPLY WITH THE WINDBORNE DEBRIS STANDARDS OF THIS CODE.

**Palm Beach County**  
**Building Code Advisory Board**  
**09-10**  
**REVISED 09-2021**

## RES.YARD STORAGE BUILDING

11' - 8"\* WIDE X 10' - 7" DEEP

MATERIAL LIST

SCALE 3/8"=1'-0"

A-6